

SITE PLAN

SCALE: 1/16" = 1'-0"

PROJECT INFORMATION LEGEND

PROPERTY OWNER:	NICOLA LAKE ESTATES INC.
AUTHORITY HAVING JURISDICTION:	THOMPSON NICOLA REGIONAL DISTRICT
BUILDER:	???
SITE CIVIC ADDRESS:	LOT 40
SITE LEGAL ADDRESS:	77 Plan KAP79399 , DL 530, KDYD
SITE ZONING:	LR-2 Lakeshore Residential Multi-Family Zone
PROPOSED USE:	SINGLE FAMILY RESIDENCE

ZONING BYLAW ANALYSIS

BYLAW DESCRIPTION	ALLOWABLE	PROPOSED
LOT SETBACKS		
FRONT LOT LINE	6.0m (MINIMUM)	6.05m
REAR LOT LINE	6.0m (MINIMUM)	22.88m
INTERIOR SIDE LOT LINE	1.5m (MINIMUM)	1.50m
EXTERIOR LOT LINE	4.5m (MINIMUM)	N/A
LOT AREA	844.15q. m.	844.15q. m.
SITE COVERAGE	337.66sq. m. (40% OF LOT AREA)	173.35sq. m. (20.54% OF LOT AREA)
BUILDING HEIGHT	12.0m	6.98m

SITE PLAN PROVIDED BY :

WATSIN ENGINEERING LTD
CONSULTING ENGINEERS KAMLOOPS B.C.

FLOOR AREAS

NAME	AREA	AREA SQM
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FINISHED		
MAIN FLOOR AREA	95.66 m ²	95.66 m ²
BASEMENT	96.81 m ²	96.81 m ²
	192.47 m ²	192.47 m ²

UNFINISHED		
GARAGE	45.82 m ²	45.82 m ²
	45.82 m ²	45.82 m ²
	238.29 m ²	238.29 m ²

GENERAL SYMBOL LEGEND

	CROSS SECTION MARKER
	DIRECTION OF VIEW
	SECTION IDENTIFICATION
	SHEET WHERE DRAWN
	WALL CONSTRUCTION TYPE
	MAIN FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	UPPER FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	ROOF PLAN POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
NOTES:	SEE SHEET A-1.02 FOR GENERAL NOTES, ABBREVIATIONS, DOOR & WINDOW SCHEDULES

ARCHITECTURAL DRAWING INDEX

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Issues / Revisions
2018-03-21 ISSUED FOR CLIENT REVIEW
2018-03-21 ISSUED FOR CLIENT REVIEW
2018-04-09 ISSUED FOR CLIENT REVIEW
2018-04-19 ISSUED FOR BUILDING PERMIT

Client:
NICOLA LAKE ESTATES

Project Description:
PROPOSED SINGLE FAMILY
RESIDENCE

SL 6-6528 WATERSIDE TRAIL
NICOLA LAKE ESTATES

Home / Office:
5617 Carvers
Chilliwack B.C.
V2K3J9

Roger Whiteway
RK WHITEWAY@SHAW.CA
604-316-2675

R & K
Enterprises

Project Number:

18-03-SL-6

Sheet Title:

SITE PLAN & PROJECT
INFORMATION

Sheet Number:

A-1.01

Scale: As indicated

Date:

2021-07-19 1:20:20 PM

Checked:

RCW

DESIGNED

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GENERAL NOTES

BUILDING DESIGN

BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH PART 9 OF THE B.C. BUILDING CODE, 2012 VERSION.

1 - EXAMINATION OF SITE

THE CONTRACTOR SHALL VISIT THE SITE TO FULLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITIONS REASONABLY INFERRABLE FROM EXAMINATION OF THE SITE, AND ITS SURROUNDINGS, AND THE CONTRACT DOCUMENTS WITH RESPECT TO SURFACE AND SUBSURFACE CONDITIONS, ACCESS TO THE SITE, EXISTING WORK, RESTRICTIONS PREVAILING ON SITE, DISPOSAL OF MATERIALS, REGULATIONS WITH RESPECT TO NOISE, SITE MAINTENANCE AND POLLUTION AND OTHER CONDITIONS HAVING EFFECT ON THE EXECUTION OF THE WORK AND IS FURTHER DEEMED TO HAVE INCLUDED IN THE CONTRACT PRICE ALL COSTS OCCASIONED THEREBY.

2 - DOCUMENTS REQUIRED

MAINTAIN AT JOB SITE, ONE COPY OF EACH OF THE FOLLOWING:

- 1. CONTRACT DRAWINGS & SPECIFICATIONS
- 2. ADDENDA
- 3. REVIEWED SHOP DRAWINGS
- 4. CHANGE ORDERS
- 5. OTHER MODIFICATIONS TO CONTRACT
- 6. FIELD TEST REPORTS
- 7. COLOUR SCHEDULE
- 8. APPROVED PLANS FROM THE ***THOMPSON NICOLA REGIONAL DISTRICT***

3 - SETTING OUT THE WORK

THE OWNER WILL APPOINT AND PAY FOR A B.C. LAND SURVEYOR WHO WILL ESTABLISH PROPERTY LINES AND BENCHMARK & LOCATE BUILDINGS ON SITE.

THE SETTING OUT OF THE WORK SHALL REST SOLELY WITH THE CONTRACTOR WHO WILL BE RESPONSIBLE FOR PLACING. SITING OF BUILDING TO BE VERIFIED BY LEGAL LAND SURVEYOR PRIOR TO LAYING OF CONCRETE.

THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS OF WORK EXECUTED UNDER THE CONTRACT. HE SHALL VERIFY FIGURES SHOWN ON THE DRAWINGS AND ASSUME RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS.

4 - FEES, PERMITS AND CERTIFICATES

OBTAIN AND PAY FOR ALL REQUIRED PERMITS. PROVIDE THE INSPECTION AUTHORITIES WITH SUCH PLANS AND INFORMATION AS MAY BE REQUIRED FOR ISSUE OF ACCEPTANCE CERTIFICATES. FURNISH INSPECTION CERTIFICATES IN EVIDENCE THAT WORK INSTALLED CONFORMS WITH THE REQUIREMENTS OF THE ***THOMPSON NICOLA REGIONAL DISTRICT*** AUTHORITY HAVING JURISDICTION.

ARRANGE FOR AND PAY FEES AND DEPOSITS REQUIRED BY THE ***THOMPSON NICOLA REGIONAL DISTRICT*** ENGINEERING DEPARTMENT FOR A STREET EXCAVATION PERMIT, TEMPORARY CROSSING PERMIT, SEWER, WATER AND GAS CONNECTION PERMIT, AND B.C. HYDRO AND TELEPHONE SERVICE CONNECTION FEES.

5 - CODES AND STANDARDS

ALL WORK TO CONFORM TO THE REGULATIONS FOR PUBLIC SAFETY, FIRE SAFETY, STRUCTURAL SUFFICIENCY, QUALITY AND DURABILITY AS PER B.C. BUILDING CODE (2012)

ALL WORK TO CONFORM TO LOCAL CODES AND BYLAWS OF THE ***THOMPSON NICOLA REGIONAL DISTRICT***, AND/OR TO THE AUTHORITIES HAVING JURISDICTION.

PERFORM WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE B.C. BUILDING CODE, ***THOMPSON NICOLA REGIONAL DISTRICT***, AND ALL CODES AND STANDARDS IN FORCE IN BRITISH COLUMBIA.

MATERIALS AND WORKMANSHIP SHALL CONFORM TO OR EXCEED APPLICABLE STANDARDS OF CANADIAN GOVERNMENT SPECIFICATION BOARD, (CGSB), CANADIAN STANDARDS ASSOCIATION (CSA), AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) AND OTHER REFERENCED ORGANIZATIONS.

6 - COOPERATION AND COORDINATION WITH OTHER CONTRACTORS

THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND OTHER CONTRACTORS AND DETERMINE TO WHAT EXTENT WORK SPECIFIED IN EACH OF THE CONTRACT DOCUMENTS IS AFFECTED BY WORK INDICATED ELSEWHERE AND MAKE ALL NECESSARY ALLOWANCES FOR THEIR INTEGRATION.

ALL ADDITIONAL WORK RESULTING FROM FAILURE TO MAKE SUCH DETERMINATION SHALL BE DONE AT NO COST TO THE OWNER.

COORDINATE THE WORK OF EACH TRADE TO ENSURE THAT SUCH WORK IS CONSISTENT WITH THE REQUIREMENTS FOR THE WORK OF A FOLLOWING TRADE.

BEFORE COMMENCING ANY WORK, EACH TRADE MUST REPORT TO THE CONTRACTOR ANY INCONSISTENCY BETWEEN THE WORK OF A PRECEDING TRADE AND THE REQUIREMENTS FOR THEIR WORK. ANY COSTS INCURRED BY THE CONTRACTOR OR TRADES TO RECTIFY SUCH INCONSISTENCIES SHALL BE AT NO EXPENSE TO THE OWNER.

7 - DAMAGE TO EXISTING SERVICES

THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PRIVATE AND PUBLIC PROPERTY AND SERVICES, CAUSED BY CONSTRUCTION OPERATIONS. HE SHALL REPAIR AND MAKE GOOD SAME OR BEAR THE EXPENSE OF SUCH REPAIRING.

8 - VERIFICATION OF DIMENSIONS

VERIFY DIMENSIONS, ELEVATIONS, AND EXISTING FEATURES SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK. NOTIFY CONSULTANT OF ANY DISCREPANCIES BEFORE STARTING WORK, OR BE RESPONSIBLE FOR ANY ADDITIONAL COST ARISING OUT OF CORRECTIONS TO BE DONE.

DRAWINGS ARE NOT TO BE SCALED, LARGER SCALE DETAILS AND PLANS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DETAILS AND PLANS.

9 - REVIEW OF DRAWINGS

CONTRACTOR AND ALL SUBTRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS AND SHALL REPORT ANY ERRORS OR DISCREPANCIES TO THE DESIGNER IMMEDIATELY PRIOR TO START OF WORK AND ORDERING OF MATERIALS. ANY DISCREPANCIES NOT REPORTED BECOME THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR, SUPPLIER AND ALL OTHER SUBTRADES ARE TO VERIFY THAT THEY ARE WORKING WITH THE MOST CURRENT DRAWINGS AND DOCUMENTS AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING FEATURES SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK. NOTIFY CONSULTANT OF ANY DISCREPANCIES BEFORE STARTING WORK, OR BE RESPONSIBLE FOR ANY ADDITIONAL COST ARISING OUT OF CORRECTIONS TO BE DONE.

10 - PROTECTION OF WORK AND PROPERTY

PROTECTION OF OFFSITE AND PUBLIC PROPERTY:

- 1. PROTECT ADJACENT PROPERTY FROM DAMAGE DURING THE PERFORMANCE OF THE WORK.
- 2. BE RESPONSIBLE FOR ALL DAMAGES INCURRED DUE TO IMPROPER PROTECTION.

PROTECTION OF BUILDING FINISHES AND EQUIPMENT:

- 1. PROVIDE ADEQUATE PROTECTION FOR FINISHES AND PARTIALLY FINISHED BUILDING FINISHES AND EQUIPMENT DURING THE PERFORMANCE OF THE WORK.
- PROVIDE NECESSARY SCREENS, COVERS, HOARDINGS, ETC. AS REQUIRED. BE RESPONSIBLE FOR ALL DAMAGES INCURRED DUE TO IMPROPER LACK OF PROTECTION.

11 - CONSTRUCTION SAFETY

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, PROVINCIAL, AND MUNICIPAL LAWS AND REGULATIONS CONCERNING CONSTRUCTION SAFETY.

THE CONTRACTOR SHALL COMPLY WITH THE WORKERS' COMPENSATION ACT OF BRITISH COLUMBIA ACCIDENT PREVENTION REGULATIONS (LATEST EDITION) AND SHALL PROVIDE ALL NECESSARY SAFETY REQUIREMENTS AS PRESCRIBED BY THE ACT FOR HIS WORK.

PRECAUTIONS SHALL BE TAKEN TO PREVENT THE OVERLOADING OF ANY PART OF THE STRUCTURE, FALSE WORK, FORM WORK OR SCAFFOLDING DURING THE PROGRESS OF THE WORK, AND ANY DAMAGE RESULTING FROM SUCH OVERLOADING SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. NO LOAD BEARING MEMBERS SHALL BE CUT, DRILLED OR SLEEVED WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANT.

12 - SHOP DRAWINGS AND SAMPLES

THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE OWNERS FOR THEIR REVIEW.

SHOP DRAWINGS SHALL BE PREPARED IN A CLEAR AND THOROUGH MANNER. COMPLETE WITH DETAIL TO SHOW MATERIAL ASSEMBLY.

CONTRACTOR IS RESPONSIBLE TO REVIEW SHOP DRAWINGS AND TO COMMENT ON THE SHOP DRAWINGS PRIOR TO SUBMITTING TO THE OWNER. SHOP DRAWINGS SUBMITTED TO THE OWNER WITHOUT THE CONTRACTOR'S COMMENTS, CONFIRMATION OF FIELD MEASUREMENTS, IDENTIFICATIONS OF DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE RETURNED TO THE CONTRACTOR WITHOUT APPROVAL.

13 - CLEAN UP

CLEANING DURING CONSTRUCTION - THE CONTRACTOR SHALL MAINTAIN THE PROJECT IN GOOD ORDER AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE MATERIAL. WASTE IS TO BE REMOVED FROM THE SITE DAILY.

14 - HEATING

INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE), ENGINEERS DRAWINGS, LOCAL CODES AND ALL OTHER REGULATIONS IN ALL RESPECTS. CONFIRM LOCATIONS OF ANY CEILING DROPS PRIOR TO CONSTRUCTION.

15 - VENTILATION

ALL INSULATED ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, IN COMBINATION EQUALLY DISTRIBUTED BETWEEN TOP OF ROOF SPACE AND SOFFITS.

ATTICS OF ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA FOR TRUSSED ROOFS AND 1/150 FOR ROOFS BUILT W/ ROOF JOISTS.

16 - BUILDING SECURITY / DOOR NOTES

DOOR FRAMES TO OPENINGS FOR ENTRANCE & EXTERIOR DOORS AND DOOR WHICH DIRECTLY OR INDIRECTLY PROVIDE ACCESS FROM A GARAGE TO THE DWELLING SHALL BE SOLIDLY BLOCKED BETWEEN THE DOOR FRAME AND WALL FRAMING AT LOCK HEIGHT SO THAT THE FRAME WILL RESIST SPREADING BY FORCE. GLASS IN SUCH DOORS SHALL BE SAFETY GLASS.

EXTERIOR HINGED DOORS AND HINGED DOORS BETWEEN DWELLING AND GARAGE WHICH SWING OUTWARD SHALL BE PROVIDED WITH HINGES AND PINS SUCH THAT THE DOORS CANNOT BE REMOVED WHEN THEY ARE IN THE CLOSED POSITION.

WHERE OPENINGS FOR EXTERIOR HINGED OR SLIDING DOORS ARE LOCATED IN WOOD STUD WALLS, SOLID HORIZONTAL BLOCKING SHALL BE PROVIDED AT BOTH SIDES OF SUCH OPENINGS FOR TWO STUD SPACES AND SHALL BE LOCATED AT LOCK HEIGHT EXCEPT WHERE SIDELIGHTS OR WINDOWS OCCUR.

ANY MAIN ENTRY DOOR MUST HAVE A VIEWPORT, CLEAR WINDOW, OR CLEAR SIDELIGHT AS PER SECTION 9.6.8.8. OF THE B.C. BUILDING CODE (2012)

17 - DIMENSIONS ON PLANS

DIMENSIONS IN PLAN ARE TO THE OUTSIDE FACE OF PLYWOOD SHEATHING FOR EXTERIOR WALLS AND TO FACE/CENTER OF STUDS FOR INTERIOR WALLS. CONCRETE DIMENSIONS ARE TO THE FACE OF CONCRETE WALLS. THE OUTSIDE FACE OF EXTERIOR SHEATHING IS TO BE FLUSH WITH OUTSIDE FACE OF CONCRETE FOUNDATION WALL (UNLESS NOTED OTHERWISE)

18 - FINISHES NOTES ETC.

ALL FINISHES FOR INTERIOR / EXTERIOR WALLS TO BE VERIFIED BY OWNER PRIOR TO ORDERING OF MATERIALS.

ALL INTERIOR FINISHES TO BE PROTECTED FROM RAIN WATER PENETRATION WITH FLASHINGS WHERE WATER WILL ACCUMULATE AS TO LEAD WATER TO THE EXTERIOR.

ALL WINDOWS & DOORS TO BE PROVIDED WITH PROPER HEAD FLASHINGS.

TUB & SHOWER OPTION 1: BUILT IN TUBS & SHOWERS INSTALL APPROVED W/P BACKING BOARD UNDERNEATH ALL CERAMIC TILE WORK & USE AN ACRYLIC W/P GROUT.

TUB & SHOWER OPTION 2: MANUFACTURED ACRYLIC TUBS & SHOWERS, FRAME IN ROUGH OPENINGS TO SUIT TUB / SHOWER SELECTED.

DECK RAILING CONNECTION: SHALL BE INSTALLED TO WITHSTAND THE FORCES SPECIFIED AS PER SECTION 9.8.8.2. OF THE B.C. BUILDING CODE (2012).

PROVIDE HOSE BIBBS AS PER OWNER

19 - FRAMING NOTES ETC.

ALL TRUSSES & LARGE BEAMS TO BE PRE-ENGINEERED. ALL ROOF OVERHANGS, SLOPES, PROPOSED SPANS & DETAILS TO BE VERIFIED BY CONTRACTOR, SUPPLIER AND FABRICATORS PRIOR TO FABRICATION.

ALL LUMBER INCLUDING LOAD-BEARING STUDS, DECK JOISTS TO BE MIN. HEM-FIR No.1 & No.2 UNLESS OTHERWISE NOTED.

JOISTS TO BE PLACED MOST ECONOMICALLY AND AS TO SUIT ALL MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL REQUIREMENTS.

ALL FRAMING TO CONFORM TO SECTION 9.23 OF B.C. BUILDING CODE (2012). ALL WOOD EXPOSED TO EXTERIOR ELEMENTS SHALL BE PRESSURE-TREATED OR PROTECTED BY APPROVED PRESERVATIVE COMPOUND.

S/PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITIONS AND CABINETS AND TUBS AS REQUIRED. (OPT. 2X BLOCKING @ 24" o.c.)

SECURE JOISTS WITH APPROVED METAL HANGERS WHEN FLUSH BEAMS ARE REQUIRED.

PROVIDE CROSS-BRIDGING B/W JOISTS MAX. 7'-0" o.c.

ALL LINTELS TO BE 2-2x10 U.N.O.

PROVIDE SOLID LAMINATED STUDDING @ BEARING POINTS.

20 - WINDOW NOTES ETC.

ALL WINDOWS & SLIDING GLASS DOORS TO HAVE LOCKS AND INSECT SCREENS.

COLOUR OF WINDOW FRAME TO OWNER'S SPECS.

ALL WINDOWS AND PATIO DOORS TO BE DOUBLE GLAZED c/w 1/2 AIR SPACE & THERMALLY BROKEN FRAME.

ALL SLIDING GLASS DOORS, SLIDING WINDOWS AND OPENING WINDOWS SHALL OPEN AS SHOWN ON PLANS OR ELEVATIONS.

FIELD MEASURE ROUGH OPENINGS PRIOR TO FABRICATION AND SUPPLY.

ALL GLAZING THICKNESS TO B.C. BUILDING CODE (2012) REQUIREMENTS.

SHOP DRAWINGS TO BE PROVIDED TO THE OWNER FOR APPROVAL PRIOR TO FABRICATION.

ALL BEDROOM WINDOWS MUST CONFORM TO 9.7.1.2 OF THE B.C. BUILDING CODE (2012)

21 - ENERGY EFFICIENCY REQUIREMENTS

THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS AND VALUES FOR CLIMATE ZONE 4 - LOWER MAINLAND AND SOUTHERN VANCOUVER ISLAND WITHOUT H.R.V. AND IS DESIGNED UNDER THE PRESCRIPTIVE PATH OF CBC 2012 SECTION 9.36

- TYPICAL ENERGY EFFICIENCY NOTES:
- VENTILATION AND DUCTING MUST BE PROVIDED AS PER B.C.B.C. 2012 SECTION 9.32
 - AN AIR BARRIER MUST TO BE INSTALLED AS PER B.C.B.C. 2012 SECTION 9.36
 - ALL INSULATION TO BE INSTALLED AS PER B.C.B.C. 2012 SECTION 9.36
 - ALL GARAGE DOORS: MINIMUM NOMINAL R.S.I. VALUE OF 1.1
 - ALL ACCESS HATCHES TO UNCONDITIONED SPACES: MAXIMUM U VALUE OF 2.6
 - ALL WINDOWS AND DOORS: MAX U VALUE OF 1.8 EXCEPT FOR 1 ENTRY UNIT
 - ALL SKYLIGHTS: MAXIMUM U VALUE OF 2.9

22 - FURTHER ENERGY EFFICIENCY REQUIREMENTS

- ALL BEDROOM DOORS MUST BE UNDERCUT 1/2" FOR CROSS VENTILATION
- PRINCIPAL EXHAUST FAN MUST BE DESIGNED TO RUN CONTINUOUSLY 24 HOURS A DAY
- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED & INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS
- HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE
- INDOOR POOLS ARE COVERED OR HAVE AN HRV/DEHUMIDIFIER
- HAVC & SWR EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS IN TABLES 9.36.3.10 & 9.36.4.2

ABBREVIATIONS

ADJ.	ADJUSTABLE	R	RANGE / OVEN FIXTURE
A.F.F.	ABOVE FINISH FLOOR	RD	ROOF DRAIN
BLDG.	BUILDING	REF.	REFRIGERATOR
B/U	BUILT-UP	REV.	REVERSED
B.P.	BUILDING PAPER	R&S	ROD & SHELF
C	CENTERLINE	S	SINK
C.I.P.	CAST IN PLACE	S.C.	SOLID CORE
C.F.	COMB FACE	SD	SIDELIGHT/DOOR
CONC.	CONCRETE	SDS	SIDELIGHT/DOOR/SIDELIGHT
C/W	COMPLETE WITH		
D.	DRYER	S.F.	SQUARE FEET
Dia.	DIAMETER	SQ.FT.	SQUARE FEET
DN	DOWN	SIM.	SIMILAR
DW	DISHWASHER	SH	SHOWER
DWG.	DRAWING	STOR.	STORAGE
DWGS.	DRAWINGS	STRUC.	STRUCTURAL
ED	EMERGENCY DRAIN	SQ. FT.	SQUARE FEET
ELEC.	ELECTRICAL	SQ. m.	SQUARE METERS
ENS.	ENSUITE	T & G	TONGUE & GROOVE
ENG'D	ENGINEERED	T.O.	TOP OF
FDN.	FOUNDATION	TYP.	TYPICAL
F.P.	FIREPLACE	U.N.O.	UNLESS NOTED OTHERWISE
F.R.R.	FIRE RESISTANCE RATING	UP	UP
FURN.	FURNACE	U.P.A.	UNITS PER ACRE
G.W.B	GYPSON WALL BOARD	UTIL.	UTILITY
G.B	GYPSON BOARD	U/S	UNDERSIDE
H.C.	HOLLOW CORE	UV	ULTRA VIOLET
HR.	HOOR	V.B.	VAPOUR BARRIER
HT	HEIGHT	W.	WASHER
H.W.T.	HOT WATER TANK	WC	WATER CLOSET
INS.	INSULATED	W/D	WASHER / DRYER UNIT
LIN.	LINEN	W.I.C.	WALK IN CLOSET
MAX.	MAXIMUM	w	WITH
MECH.	MECHANICAL	W	WASHER
MTL.	METAL	W/D	WASHER/DRYER STACKED
MTL.	MTL (IMPERIAL THICKNESS)	WC	WATER CLOSET
m.m.	MILLIMETER	WF	STEEL WF COLUMN - SEE
MIN.	MINIMUM		
MW	MICRO-WAVE		STRUCTURAL
N/A	NOT APPLICABLE	WFRG	UNDER COUNTER WINE
No.	NUMBER	FRIDGE	
O.C.	ON CENTRE	42VAN	42" LONGx30" HIGH VANITY
OSB	ORIENTED STRAND BOARD	45 MIN.	45 MINUTES
O/S.	OUTSIDE OF PLY. PLYWOOD	48MR	42"LONGx46" H. MIRROR
	OR NUMBER OF LAYE1STC		15" WIDEx 84" TALL
O/H.	OVERHEAD		
PAN	PANTRY	W/ ADJ. SHELVES	
PRE-FIN.	PRE-FINISHED	12UC	12" WIDE UPPER CABINETS
P.V.C.	POLYVINYL CHLORIDE	24BC	24" WIDE x 36" HIGH BASE CABINET
PWD.	POWDER		
P.T.	PRESSURE TREATED	@	AT
P.	PANTRY		

DOOR SCHEDULE	
DOOR SPECIFICATIONS	
DOOR NUMBE R	DOOR SIZE
Exterior Door - French Door - Style A	
1	5'-0" x 6'-8"
Exterior Door - Single Door - Style A	
2	3'-0" x 6'-8"
Exterior Door - Single French Door - Style C	
3	2'-6" x 6'-8"
Exterior Patio Door - 2 Panel w Transom - Style A	
4	8'-0" x 7'-8" Patio Unit w Transom
5	8'-0" x 7'-8" Patio Unit w Transom
Interior Door - Bifold 2 Panel - Style A	
6	2'-6" x 6'-8"
7	2'-6" x 6'-8"
Interior Door - Double Panel - Style A	
8	4'-0" x 6'-8"
9	4'-0" x 6'-8"
10	4'-0" x 6'-8"
Interior Door - Passage - Style A	
11	2'-8" x 6'-8"
12	2'-6" x 6'-8"
13	2'-6" x 6'-8"
14	2'-6" x 6'-8"
15	2'-6" x 6'-8"
16	2'-6" x 6'-8"
17	2'-6" x 6'-8"
18	2'-10" x 6'-8"
19	2'-8" x 6'-8"
20	2'-8" x 6'-8"
21	2'-6" x 6'-8"
Overhead Door - Style B - 16'0x9'0	
22	16'-0" x 9'-0"
22	

WINDOW SCHEDULE				
WINDOW SPECIFICATIONS				
TYP	#	WIDT H	HEIGH T	HEAD HT.
Casement (C-C)				
A	1	2' - 0"	4' - 0"	6' - 8"
A	2	2' - 0"	4' - 0"	6' - 8"
B	1	4' - 0"	5' - 0"	6' - 8"
B	2	4' - 0"	5' - 0"	6' - 8"
C	1	3' - 0"	6' - 0"	7' - 8"
C	2	3' - 0"	6' - 0"	7' - 8"
Casement (C-XJO) 1H 2V- Top				
D	1	2' - 6"	4' - 0"	6' - 8"
D	2	2' - 6"	4' - 0"	6' - 8"
Fixed (F-X)				
I	1	1' - 6"	4' - 0"	7' - 8"
I	2	1' - 6"	4' - 0"	7' - 8"
Slider (S-XO) 1x6 Trim				
F	1	5' - 0"	4' - 0"	6' - 8"

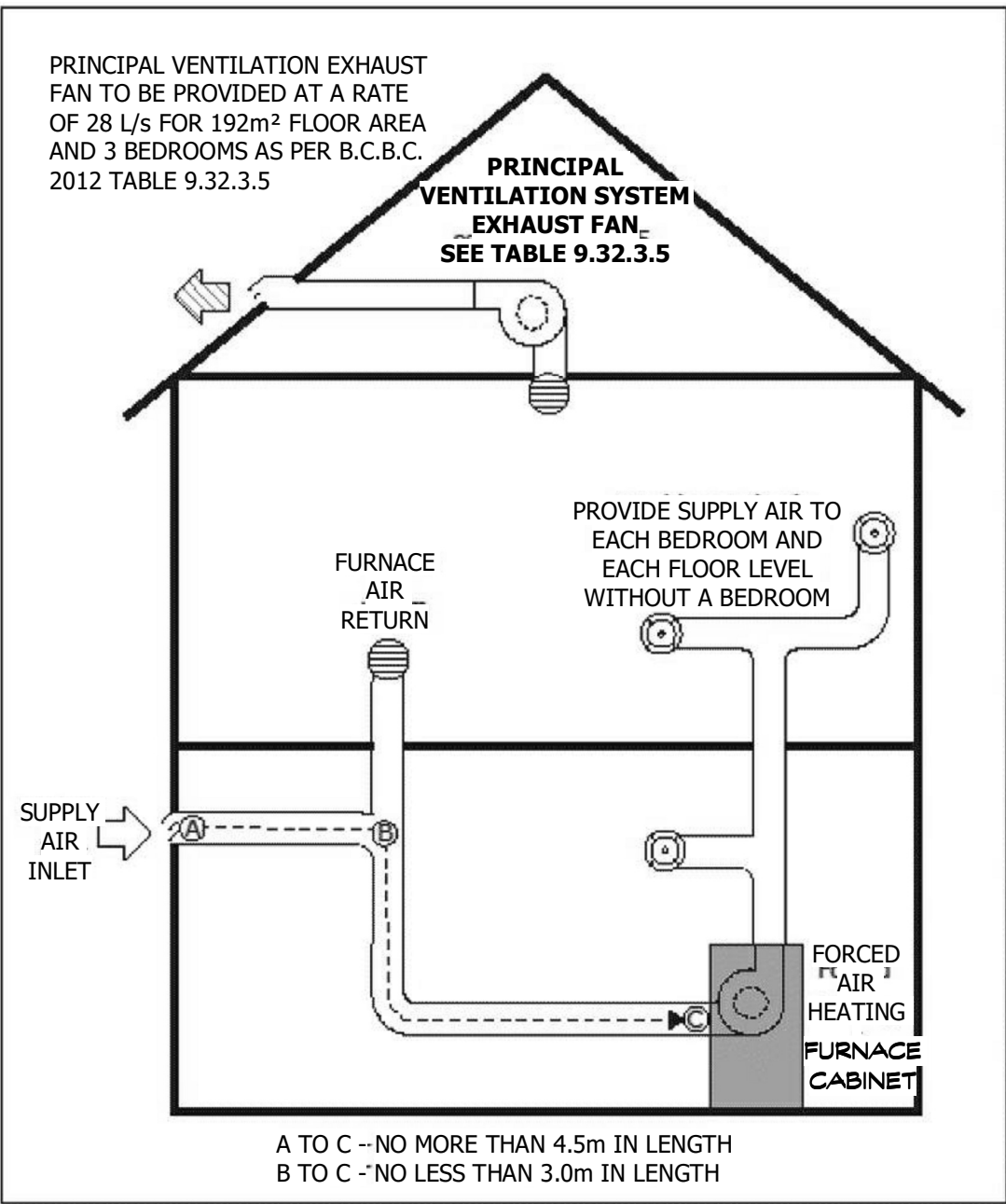
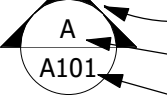






FIGURE A-9.32.3.4.(2)
FORCED-AIR HEATING SYSTEM SUPPLY AIR DISTRIBUTION

VENTILATION

SCALE: 1/4" = 1'-0"

FLOOR AREAS		
NAME	AREA	AREA SQM
FINISHED		
MAIN FLOOR AREA	95.66 m²	95.66 m²
BASEMENT	96.81 m²	96.81 m²
	192.47 m²	192.47 m²
UNFINISHED		
GARAGE	45.82 m²	45.82 m²
	45.82 m²	45.82 m²
	238.29 m²	238.29 m²

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	DIRECTION OF VIEW SECTION IDENTIFICATION SHEET WHERE DRAWN
	WALL CONSTRUCTION TYPE
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	UPPER FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
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A-1.01	SITE PLAN & PROJECT INFORMATION
A-2.01	FOUNDATION MAIN FLOOR FRAMING PLAN & ROOF FRAMING PLAN
A-2.02	BASEMENT & MAIN FLOOR PLANS
A-2.03	ROOF PLAN & EAST WEST EXPOSED BUILDING FACE & UNPROTECTED OPENINGS
A-3.01	WEST & SOUTH EXTERIOR ELEVATIONS
A-3.02	EAST & NORTH EXTERIOR ELEVATIONS
A-4.01	BUILDING SECTIONS A & B
A-11	ENERGY EFFICIENCY - ABOVE GRADE
A-12	ENERGY EFFICIENCY - BELOW GRADE

Owner / Designer:
2018-03-22 ISSUED FOR CLIENT REVIEW
2018-03-21 ISSUED FOR CLIENT REVIEW
2018-04-09 ISSUED FOR CLIENT REVIEW
2018-04-19 ISSUED FOR BUILDING PERMIT

Client:

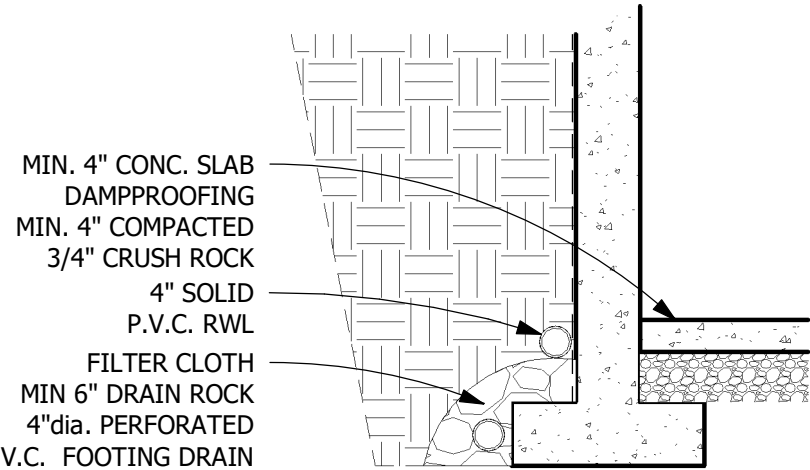
NICOLA LAKE ESTATES

Project Description:
PROPOSED SINGLE FAMILY RESIDENCE

SL 6-6528 WATERSIDE TRAIL
NICOLA



SCALE: 1/4" = 1'-0"

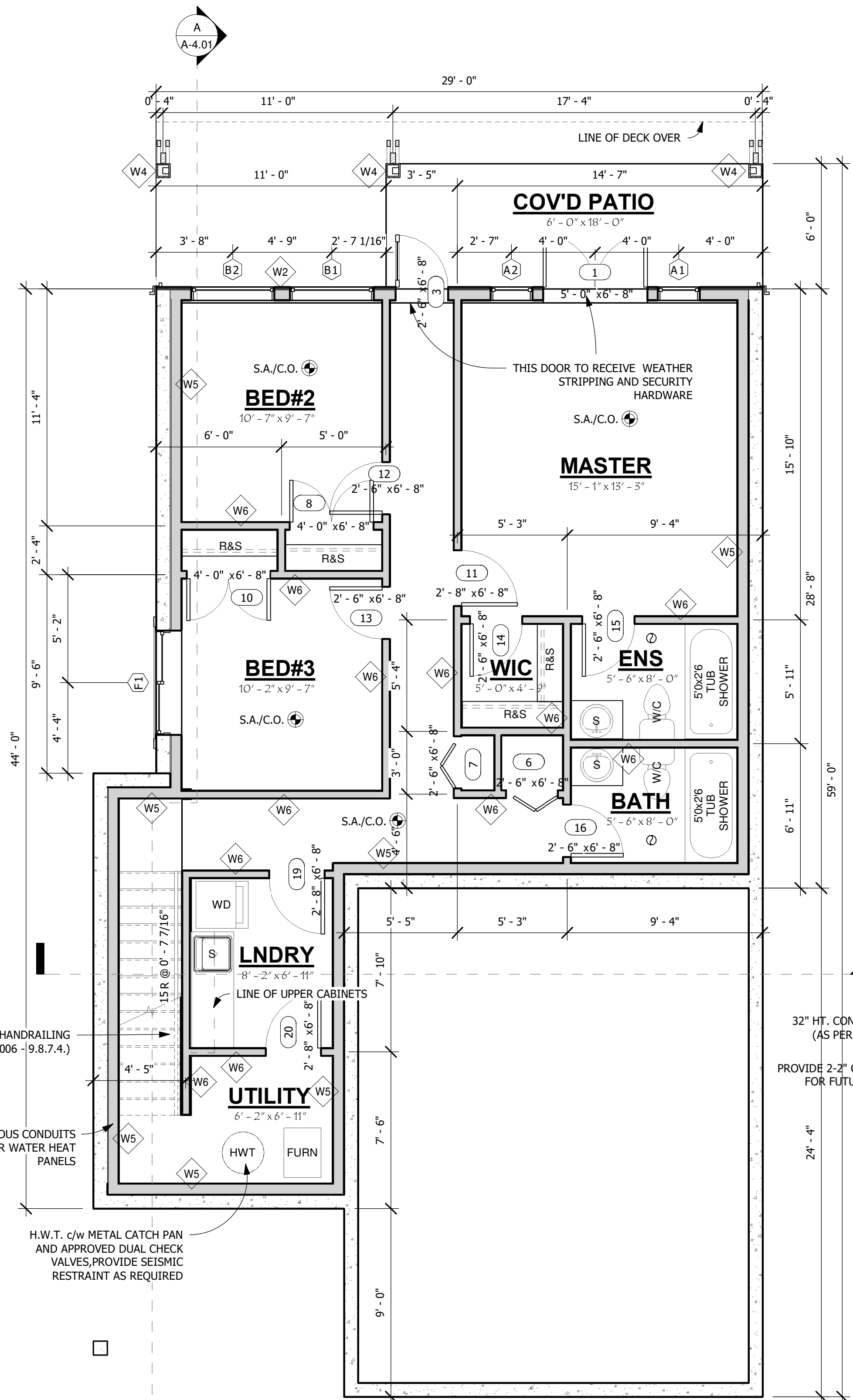


SCALE: 1/2" = 1'-0"

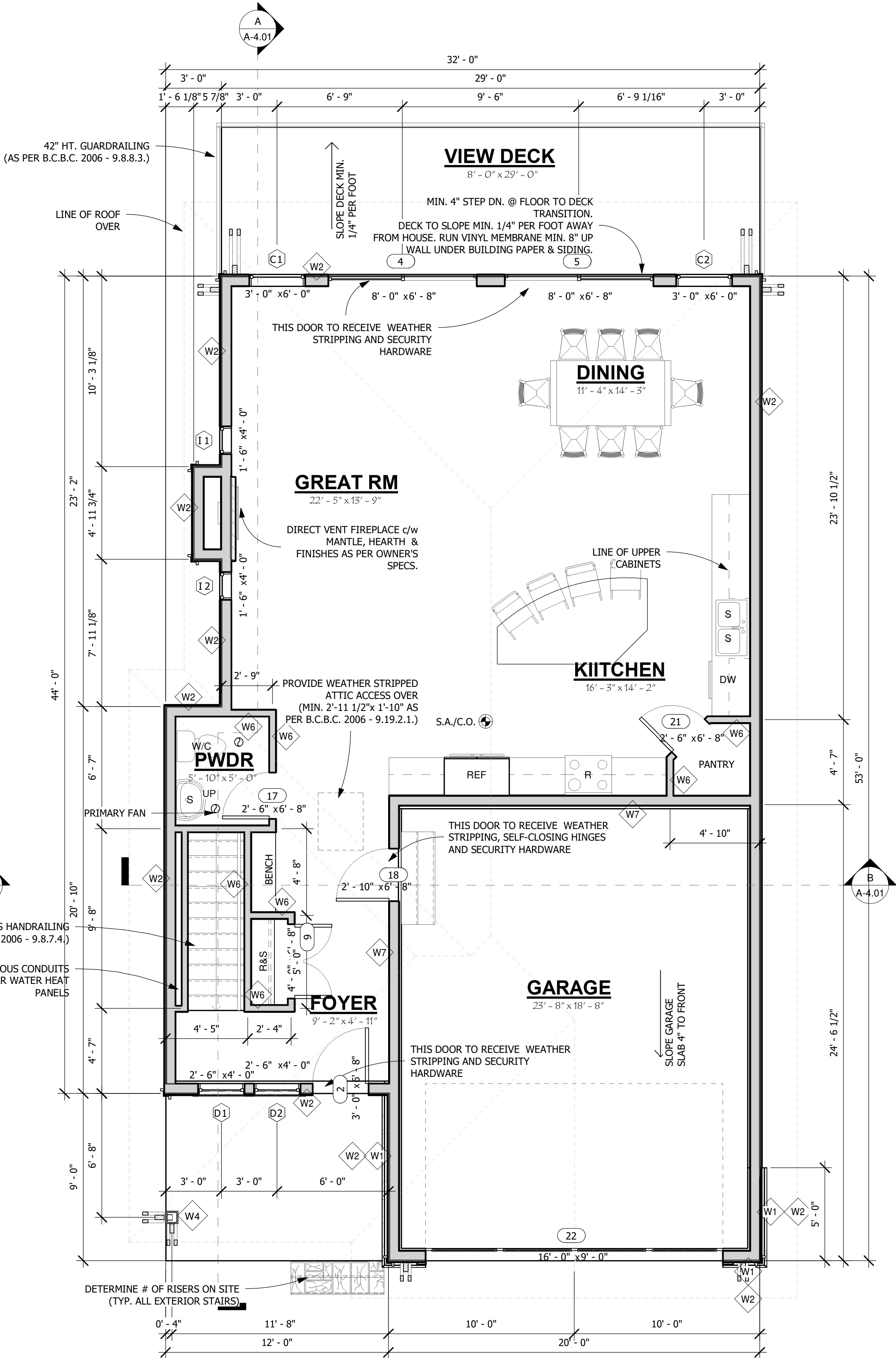


SCALE: 1/4" = 1'-0"

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BASEMENT FLOOR
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL SYMBOL LEGEND	
	CROSS SECTION MARKER
	DIRECTION OF VIEW
	SECTION IDENTIFICATION
	SHEET WHERE DRAWN
	WALL CONSTRUCTION TYPE
	MAIN FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	UPPER FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	ROOF PLAN POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
NOTES: SEE SHEET A-1.02 FOR GENERAL NOTES, ABBREVIATIONS, DOOR & WINDOW SCHEDULES	

SYM	DESCRIPTION
W1	EXTERIOR WALL (2x6, INSUL, STONE) MANUFACTURED STONE VENEER 3/4" STUCCO c/w METAL LATH 3/8"x2" P.T. VERT. PLYWOOD STRAPPING @ 8" o.c. 2 LAYERS 30 MIN. BUILDING PAPER 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" O.C. R-22 BATT INSULATION 6 MIL POLY U.V. RATED VAPOUR BARRIER 1/2" GYPSUM WALL BOARD
W2	EXTERIOR WALL (2x6, INSUL) COMPOSITE MATERIAL FINISH -SEE ELEVATIONS FOR PROFILES 3/8"x2" P.T. VERT. PLYWOOD STRAPPING @16" o.c. 1 LAYER HOUSE WRAP 3/8" OSB SHEATHING 2x6 WOOD STUDS @ 16" O.C. R-22 BATT INSULATION 6 MIL POLY U.V. RATED VAPOUR BARRIER 1/2" GYPSUM WALL BOARD
W3	FOUNDATION OR RETAINING WALL (TYPICAL) DRAINAGE COMPOSITE MATERIAL BELOW GRADE 1x4 P.T. WOOD STRAPPING TO ALLOW FOR FINISHES (CONFIRM ON SITE /SEE ELEVATIONS CONCRETE WALL (SEE FOUNDATION PLAN)
W4	EXTERIOR COLUMN BUILT-UP WOOD POST (FINISH AS PER OWNER) COMB FACE TRIMS
W5	FOUNDATION WALL w/ FLOORING DRAINAGE COMPOSITE MATERIAL BELOW GRADE CONCRETE WALL (SEE FOUNDATION PLAN) 1" XPS RIGID FOAM BEHIND FRAME WALL C/W, TAPED SEAMS & SEALED TO RIM JOIST 2x6 WOOD STUDS @16" o.c., R-20 BATT INSULATION 1/2" GYPSUM BOARD, PAINTED AIR BARRIER NOTE: CONFIRM BEST INSULATION & VAPOUR BARRIER PRACTICE WITH LOCAL AUTHORITY
W6	INTERIOR WALL 1/2" GYPSUM BOARD EACH SIDE OF FRAME WALL 2x4 OR 2x6 (AS NOTED) WOOD STUDS @16"O.C NOTE: ALL COMMON WALLS TO BATHROOMS AND BEDROOMS ADJACENT TO OTHER ROOMS TO BE INSULATED WITH 3-1/2" ACOUSTIC INSULATION
W7	GARAGE WALL 1/2" GYPSUM BOARD, 2x6 WOOD STUDS @ 16" o.c. R-20 BATT INSULATION, 6 MIL. UV RATED POLY V.B. 1/2" GYPSUM BOARD
F1	FLOOR FRAMING FLOOR FINISH ON UNDERLAYMENT 5/8" T&G PLYWOOD (GLUED & SCREWED) 2x FLOOR JOISTS (SEE FLOOR PLANS) 5/8" GYPSUM CEILING BOARD
F2	DECK FLOOR FRAMING 5/4x5 P.T. WOOD DECKING (SCREWED) OR VINYL DECK MEMBRANE (RUN MIN. 8" UP WALLS UNDER BUILDING PAPER & SIDING) 5/8" T&G PLYWOOD (GLUED & SCREWED) 2x P.T. FLOOR JOISTS
F3	INTERIOR CONCRETE SLAB FINISH BY OWNER CONCRETE SLAB (SEE FOUNDATION PLANS) 6 MIL UV POLY VAPOUR BARRIER MIN. 6" COMPACTED GRANULAR FILL
F4	GARAGE CONCRETE SLAB FINISH BY OWNER CONCRETE SLAB (SEE FOUNDATION PLANS) MIN. 6" COMPACTED GRANULAR FILL
S1	INTERIOR STAIR - WOOD 1" PLYWOOD TREADS c/w 1/2" RADIUS NOSING 1/2" PLYWOOD RISER, 3 - 2x12 STRINGERS 1/2" GYPSUM CEILING BOARD
R1	METAL STANDING SEAM 30 lbs UNDERLAYMENT 7/16" OSB SHEATHING c/w H-CLIPS PRE-ENGINEERED WOOD TRUSSES @ 24" o.c. R-40 BLOW-IN INSULATION 6 MIL. UV RATED POLY VAPOUR BARRIER 5/8" GYPSUM CEILING BOARD
R2	METAL STANDING SEAM 30 lbs UNDERLAYMENT 1/2" PLYWOOD SHEATHING c/w H-CLIPS PRE-ENGINEERED WOOD TRUSSES @ 24" o.c. VENTED VINYL SOFFITING

FLOOR AREAS		
NAME	AREA	AREA SQM
FINISHED		
MAIN FLOOR AREA	95.66 m ²	95.66 m ²
BASEMENT	96.81 m ²	96.81 m ²
	192.47 m ²	192.47 m ²
UNFINISHED		
GARAGE	45.82 m ²	45.82 m ²
	45.82 m ²	45.82 m ²
	238.29 m ²	238.29 m ²

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A-12	ENERGY EFFICIENCY - BELOW GRADE

Client:
NICOLA LAKE ESTATES

Project Description:
PROPOSED SINGLE FAMILY RESIDENCE

SL 6-6528 WATERSIDE TRAIL
NICOLA LAKE ESTATES

Home / Office:
5617 Carvers
Chilliwack B.C.
V2K3J9

R & K Enterprises

Project Number:
18-03-SL-6

Sheet Title:
BASEMENT & MAIN FLOOR PLANS

Owner:
Roger Whiteway
RKWHITWAY@SHAW.CA
604-316-2675

Scale:
As indicated

Drawn:
RCW

Checked:
RCW

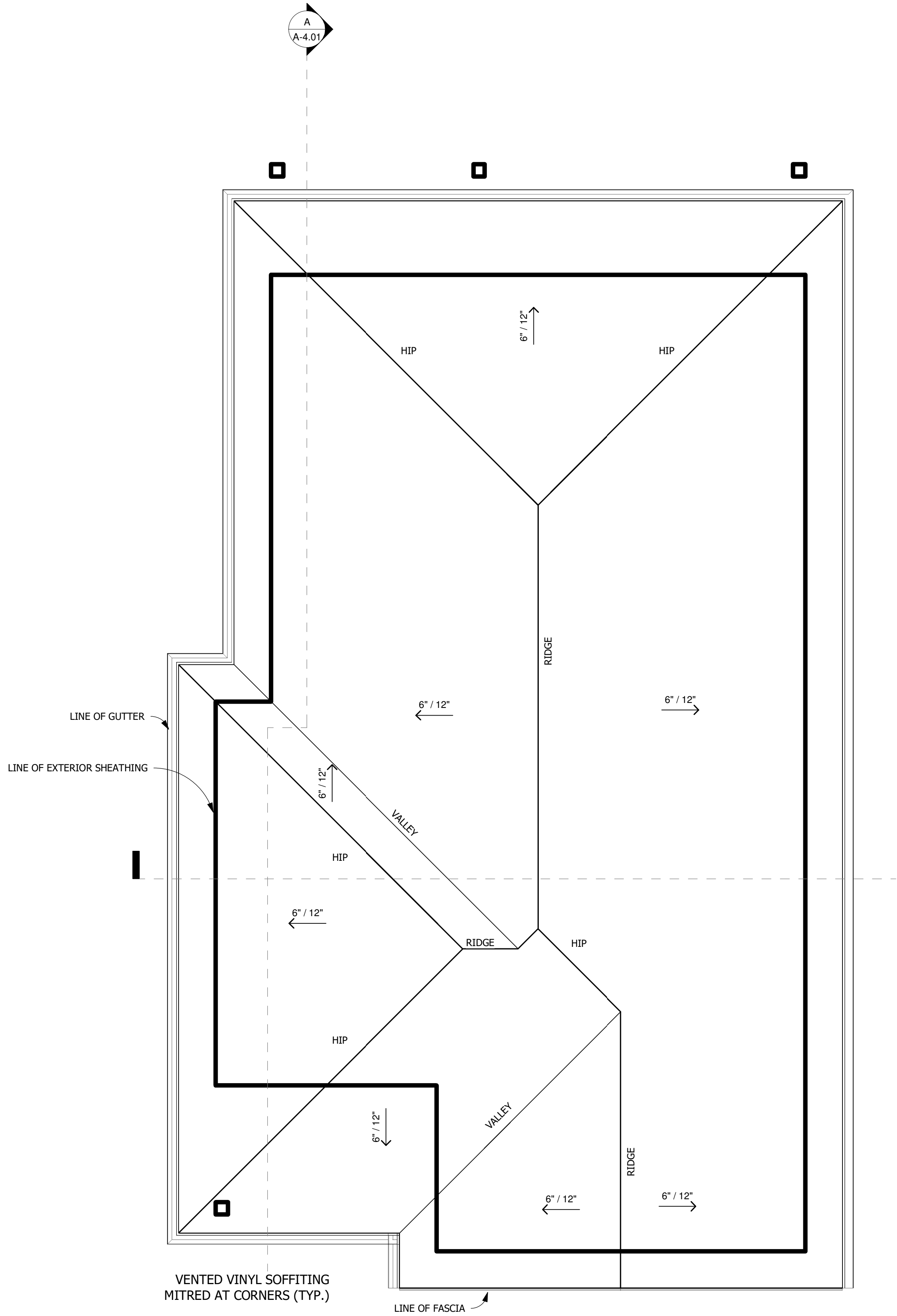
DESIGNED
RCW

DATE:
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Sheet Number:
A-2.02

Issues / Revisions:
2018-02-26 ISSUED FOR CLIENT REVIEW
2018-03-05 ISSUED FOR CLIENT REVIEW
2018-04-09 ISSUED FOR CLIENT REVIEW
2018-04-19 ISSUED FOR BUILDING PERMIT

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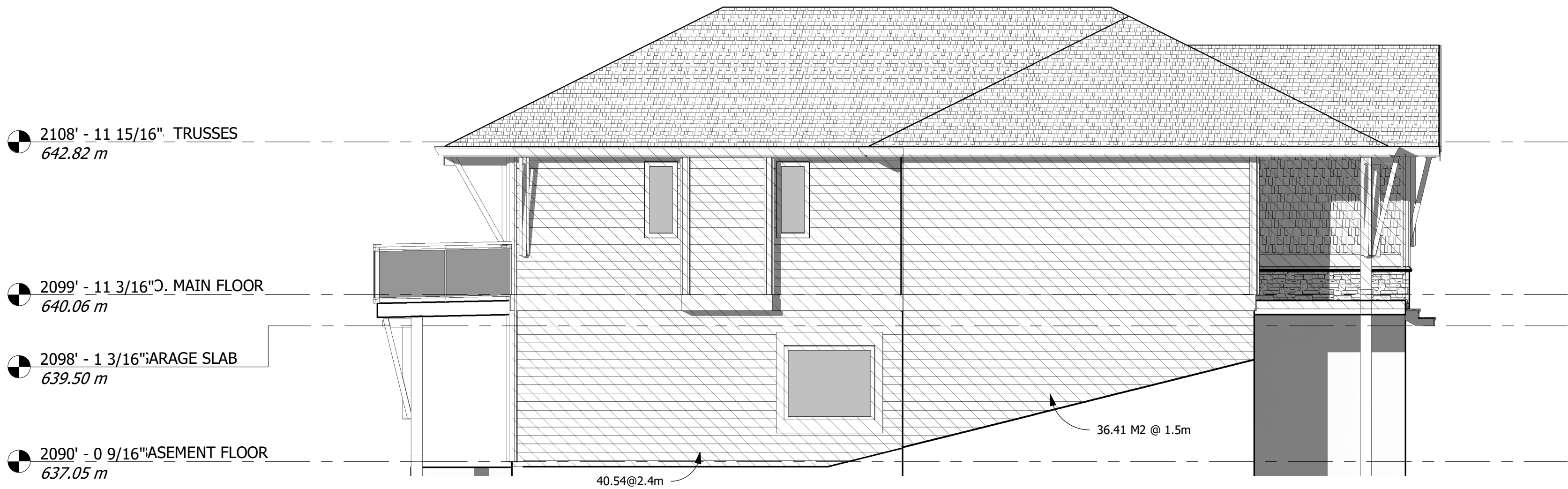


NOTE:
CONTRACTOR TO CONFIRM & LOCATE ALL
RAIN-WATER LEADER LOCATIONS ON
SITE PRIOR TO BACKFILLING
FOUNDATION.

ROOF PLAN

SCALE: 1/4" = 1'-0"

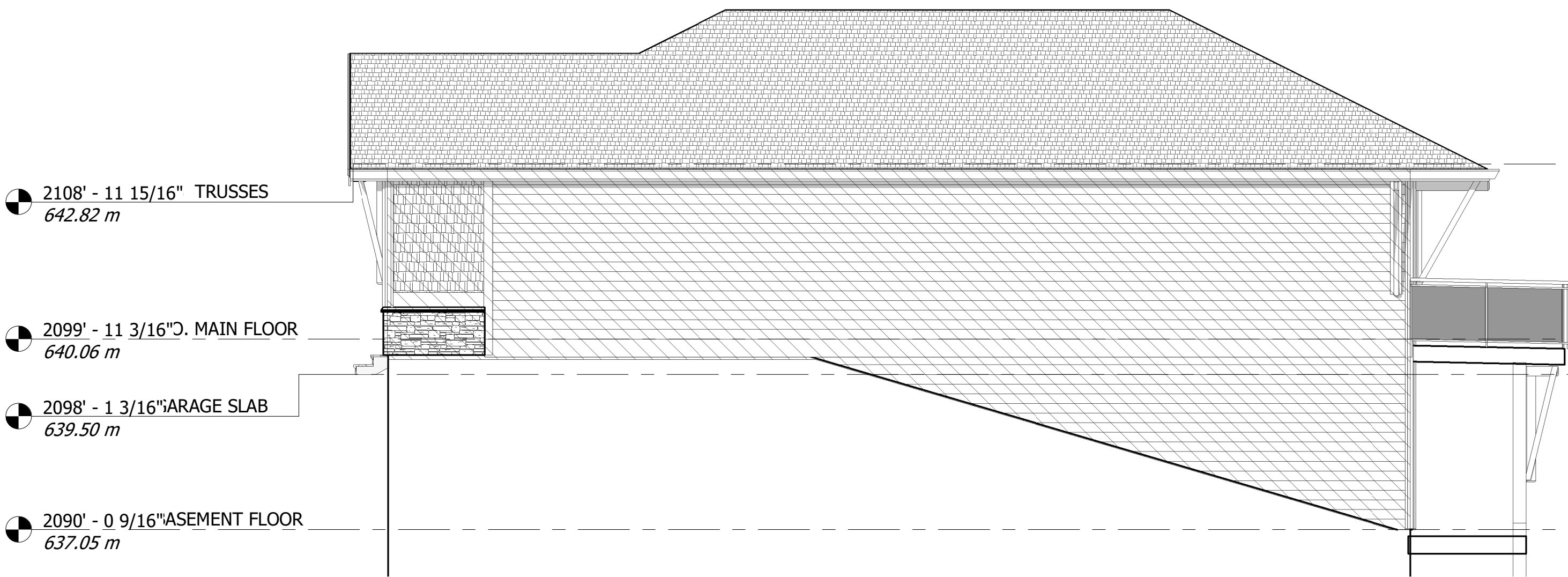
NOTE:
TRUSS MANUFACTURER TO CONFIRM
SNOW LOADS FOR THE REGION PRIOR
TO DESIGNING TRUSSES.



EAST ELEVATION EXPOSED BUILDING FACE

SCALE: 3/16" = 1'-0"

SPATIAL SEPARATIONS					
EXPOSING BUILDING FACE			UNPROTECTED OPENINGS		WALL CONSTRUCTION
FACE	AREA OF E.B.F.	LIMITING DISTANCE	MAXIMUM ALLOWABLE	ACTUAL	WALL CONSTRUCTION & RATING
EAST	36.41sq.m / 40.54 sqm.	1.5m / 2.4	0%/7% (2.84sq.m.)	6.86% (2.78sq.m.)	COMBUSTIBLE / UNRATED
WEST	61.57sq.m	1.5m	0% (0sq.m.)	0% (0sq.m.)	COMBUSTIBLE / UNRATED



WEST ELEVATION EXPOSED BUILDING FACE

SCALE: 3/16" = 1'-0"

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Revision:
2018-03-20 ISSUED FOR CLIENT REVIEW
2018-03-20 ISSUED FOR CLIENT REVIEW
2018-04-09 ISSUED FOR CLIENT REVIEW
2018-04-19 ISSUED FOR BUILDING PERMIT

Client:
NICOLA LAKE ESTATES
Proposed Single Family Residence
SL 6-6528 Waterside Trail
Nicola Lake Estates

Home / Office:
5617 Carvers
Chilliwack B.C.
V2K3J9
Roger Whiteway
RKWHITWAY@SHAW.CA
604-316-2675

Project Number:
18-03-SL-6

Sheet Title:
Roof Plan & East West Exposed Building Face & Unprotected Openings

Sheet Number:
A-2.03

Scale:
As indicated

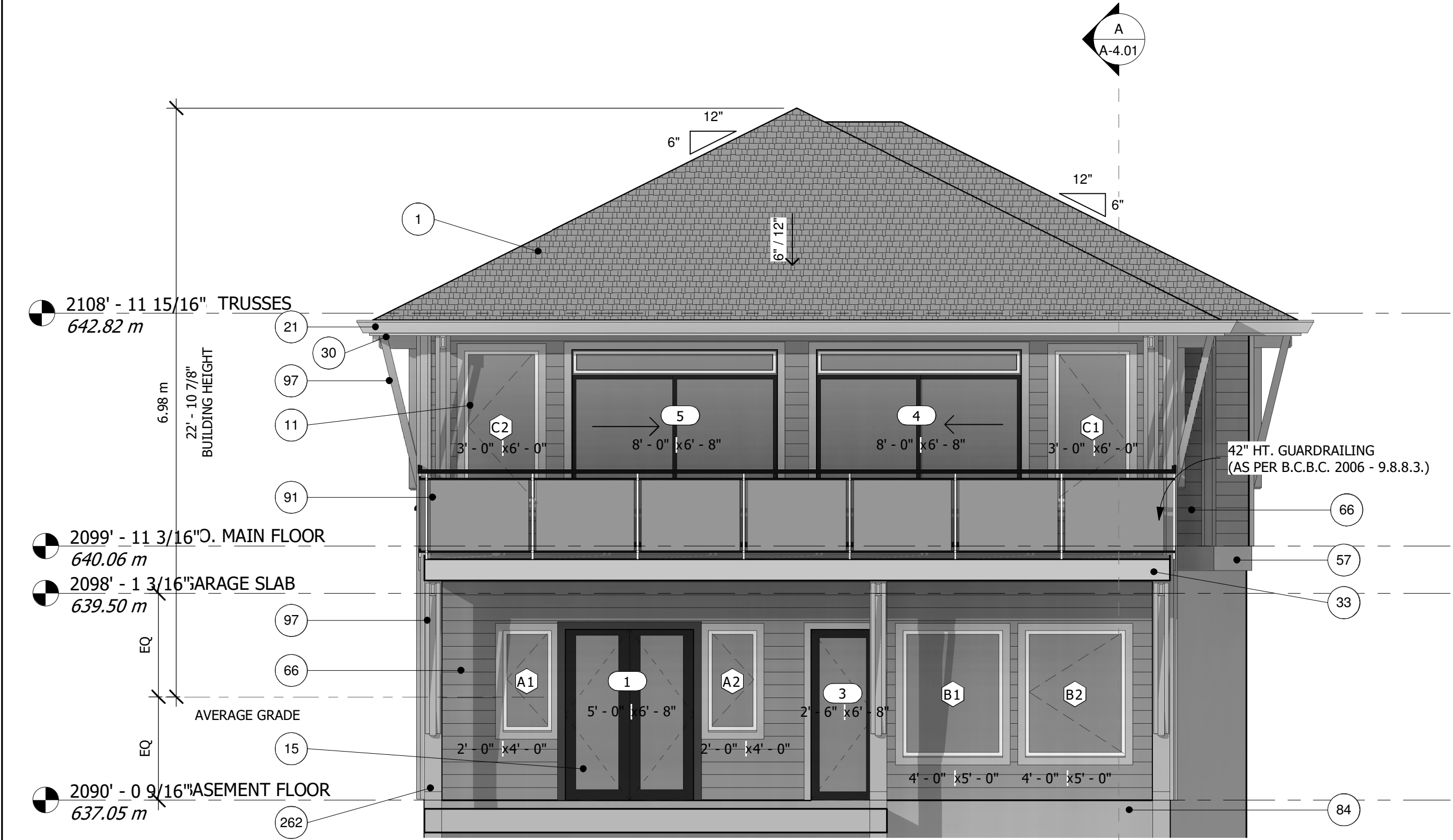
Date:
2021-07-19 1:20:30 PM

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DESIGNED
RCW

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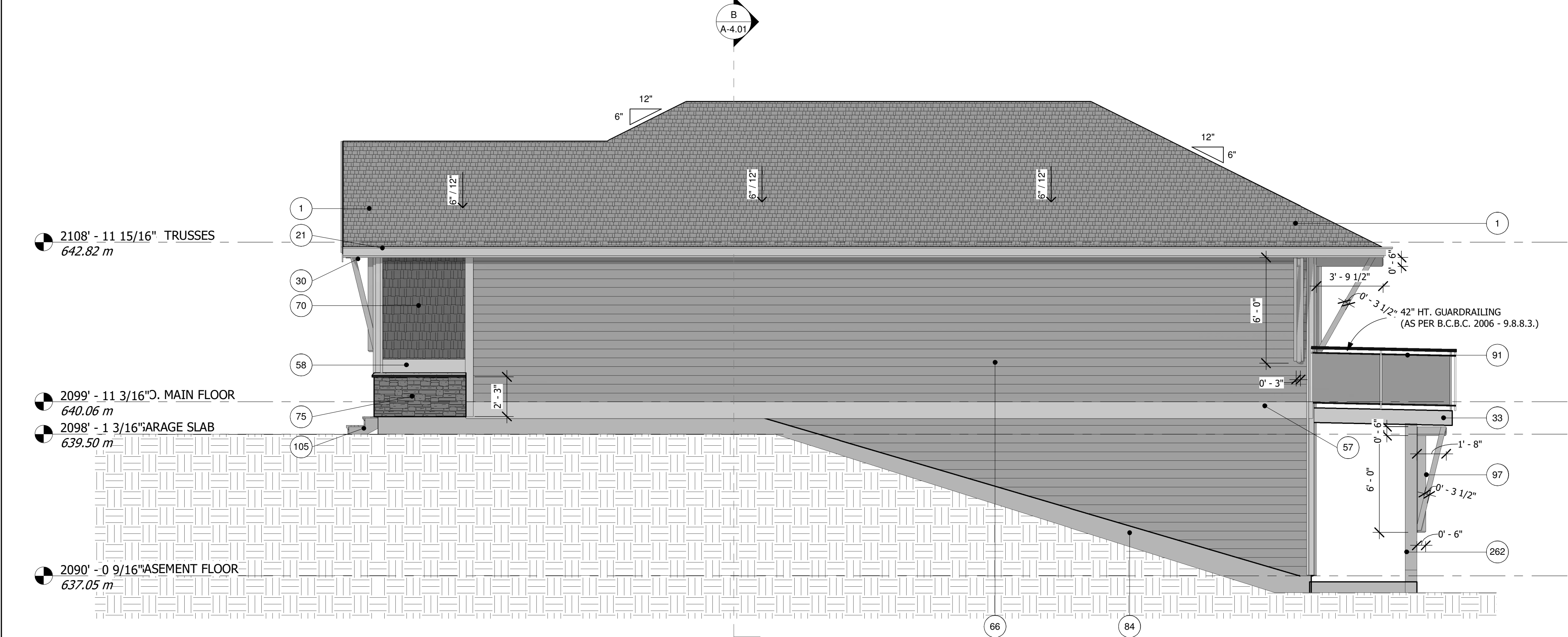
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



LAKE VIEW

SCALE:



WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE	
TAG #	ELEMENT DESCRIPTION
1	ASPHALT SHINGLE ROOFING, MIN 1/300 ROOF VENTING (AS PER VENTING REQUIREMENTS)/W/ RIDGE VENTING TO NORTH & EAST FACES
11	SEALED DOUBLE GLAZED VINYL WINDOW C/W. 1x6 STAINED WOOD TRIMS AROUND WINDOWS (SEE WINDOW SCHEDULE FOR SIZES & SPECIFICATIONS)
15	EXTERIOR DOOR C/W. 1x6 PAINTED WOOD TRIMS AROUND DOOR (COLOUR TO MATCH WINDOW TRIMS) (SEE DOOR SCHEDULE FOR SIZES & SPECIFICATIONS)
21	PRE-FINISHED ALUMINUM GUTTERS
30	2x6 PAINTED WOOD, COMB FACE, TRIM BOARD
33	2x12 PAINTED WOOD, COMB FACE, TRIM BOARD
57	2x10 PAINTED WOOD BELLY BOARDS c/w PREFINISHED THRU-WALL METAL FLASHING (EXTERIOR FINISH TO BE SEPARATED AT THIS POINT)
58	2x12 PAINTED WOOD BELLY BOARDS c/w PREFINISHED THRU-WALL METAL FLASHING (EXTERIOR FINISH TO BE SEPARATED AT THIS POINT)
66	6" HORIZONTAL HARDI SIDING c/w PAINTED 1x6 WD. CORNERS
70	VINYL "SHAKE PROFILE" SIDING
75	MANUFACTURED STONE VENEER
84	C.I.P. CONCRETE WALL PARGED AND SANDBLASTED FINISH
91	SIDE-MOUNTED, PREFINISHED ALUMINUM & GLASS PANEL GUARDRAILING
97	TIMBER KNEE BRACE (REFER TO DETAIL #1)
105	CONCRETE STAIRS - CONFIRM RISERS ON SITE
262	2x10 COMB FACE MATERIAL WRAPPED AROUND COLUMNS

EXTERIOR NOTES

- 1) INSTALL SCREENED COVERS TO ALL VENTS, CHASES ETC. TO PREVENT THE ENTRY OF DEBRIS, INSECTS / ANIMALS OF ANY SORT.
- 2) HOLD ALL FASCIA BOARDS 2" BACK FROM ANY WALL FACE; PROVIDE DIVERTER FLASHINGS INTO GUTTER.
- 3) FINISH GRADE/ ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION FROM...
- 4) CONFIRM ALL GRADES ON SITE, ADJUSTING CONC. FOUNDATIONS AS REQUIRED BY STRUCTURAL ENGINEER.

GENERAL SYMBOL LEGEND

CROSS SECTION MARKER	
	DIRECTION OF VIEW SECTION IDENTIFICATION SHEET WHERE DRAWN
	WALL CONSTRUCTION TYPE
	MAIN FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	UPPER FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	ROOF PLAN POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
NOTES: SEE SHEET A-1.02 FOR GENERAL NOTES, ABBREVIATIONS, DOOR & WINDOW SCHEDULES	

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Issues / Revisions

2018-02-26 ISSUED FOR CLIENT REVIEW
2018-03-21 ISSUED FOR CLIENT REVIEW
2018-03-21 ISSUED FOR CLIENT REVIEW
2018-04-19 ISSUED FOR BUILDING PERMIT

Client:

NICOLA LAKE ESTATES

Project Description:

PROPOSED SINGLE FAMILY RESIDENCE

SL 6-6528 WATERSIDE TRAIL
NICOLA LAKE ESTATES

Home / Office:

5617 Caners
Chilliwack B.C.
V2K3J9

Roger Whiteway
RK WHITEWAY@SHAW.CA
604-316-2675

Project Number:

18-03-SL-6

Sheet Title:

WEST & SOUTH EXTERIOR
ELEVATIONS

Sheet Number:

A-3.01

Scale:

As indicated

Date:

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Drawn:

RCW

Checked:

RCW

EXTERIOR FINISH SCHEDULE	
TAG #	ELEMENT DESCRIPTION
1	ASPHALT SHINGLE ROOFING; MIN 1/300 ROOF VENTING (AS PER VENTING REQUIREMENTS)/W/ RIDGE VENTING TO NORTH & EAST FACES
11	SEALED DOUBLE GLAZED VINYL WINDOW C/W. 1x6 STAINED WOOD TRIMS AROUND WINDOWS (SEE WINDOW SCHEDULE FOR SIZES & SPECIFICATIONS)
15	EXTERIOR DOOR C/W. 1x6 PAINTED WOOD TRIMS AROUND DOOR (COLOUR TO MATCH WINDOW TRIMS) (SEE DOOR SCHEDULE FOR SIZES & SPECIFICATIONS)
17	OVERHEAD GARAGE DOORS C/W. 1x6 PAINTED WOOD TRIMS (SEE DOOR SCHEDULE FOR SIZES & SPECIFICATIONS)
21	PRE-FINISHED ALUMINUM GUTTERS
30	2x6 PAINTED WOOD, COMB FACE, TRIM BOARD
35	1x4 PAINTED WOOD, COMB FACE, FASCIA BOARD
43	2x10 PAINTED WOOD, COMB FACE, FASCIA BOARD
57	2x10 PAINTED WOOD BELLY BOARDS c/w PREFINISHED THRU-WALL METAL FLASHING (EXTERIOR FINISH TO BE SEPARATED AT THIS POINT)
58	2x12 PAINTED WOOD BELLY BOARDS c/w PREFINISHED THRU-WALL METAL FLASHING (EXTERIOR FINISH TO BE SEPARATED AT THIS POINT)
66	6" HORIZONTAL HARDI SIDING c/w PAINTED 1x6 WD. CORNERS
70	VINYL "SHAKE PROFILE" SIDING
75	MANUFACTURED STONE VENEER
84	C.I.P. CONCRETE WALL PARGED AND SANDBLASTED FINISH
91	SIDE-MOUNTED, PREFINISHED ALUMINUM & GLASS PANEL GUARDRAILING
97	TIMBER KNEE BRACE (REFER TO DETAIL #1)
105	CONCRETE STAIRS - CONFIRM RISERS ON SITE
221	DECORATIVE "TRUSS STYLE" WOOD TRIM BOARDS
262	2x10 COMB FACE MATERIAL WRAPPED AROUND COLUMNS

Issues / Revisions
2018-02-26 ISSUED FOR CLIENT REVIEW
2018-03-05 ISSUED FOR CLIENT REVIEW
2018-04-19 ISSUED FOR CLIENT REVIEW
2018-04-19 ISSUED FOR BUILDING PERMIT

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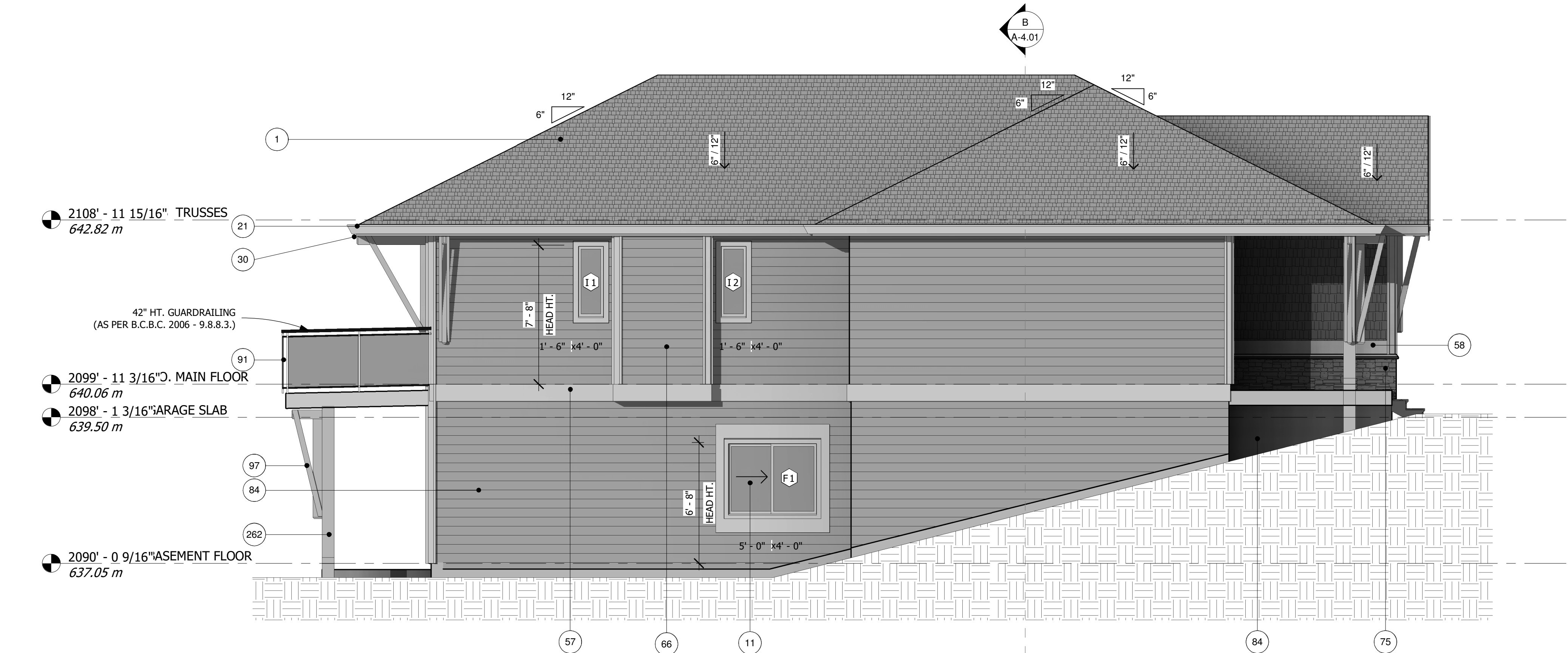
Client
NICOLA LAKE ESTATES
Project Description
PROPOSED SINGLE FAMILY RESIDENCE
SL 6-6528 WATERSIDE TRAIL
NICOLA LAKE ESTATES

Home / Office
5617 Carvers
Chilliwack B.C.
V2K3J9
Roger Whiteaway
RKWHITEWAY@SHAW.CA
604-316-2675

R & K
Enterprises

Project Number
18-03-SL-6
Scale
As indicated
Date
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Drawn
RCW
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RCW

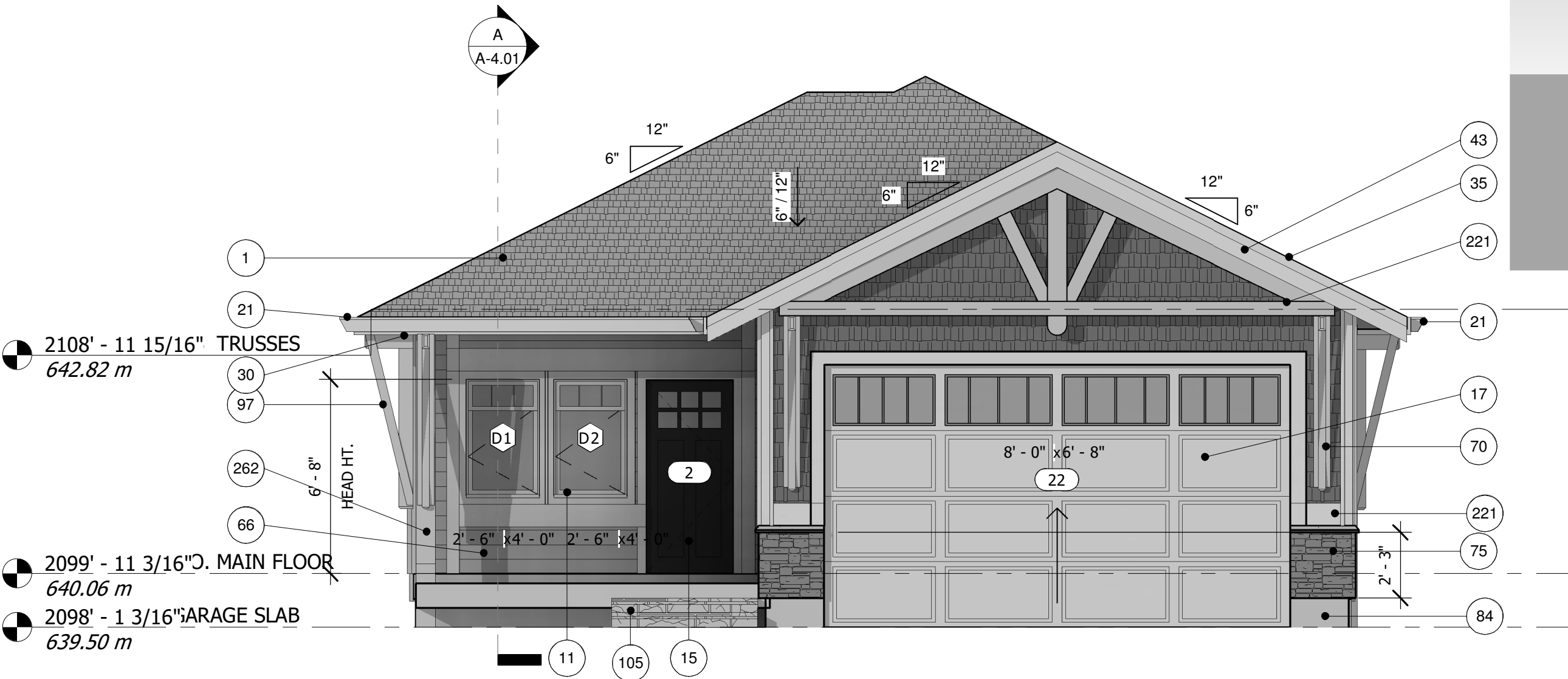
Sheet Title
EAST & NORTH EXTERIOR ELEVATIONS
Sheet Number
A-3.02



EAST ELEVATION
SCALE: 1/4" = 1'-0"



STREET VIEW
SCALE:



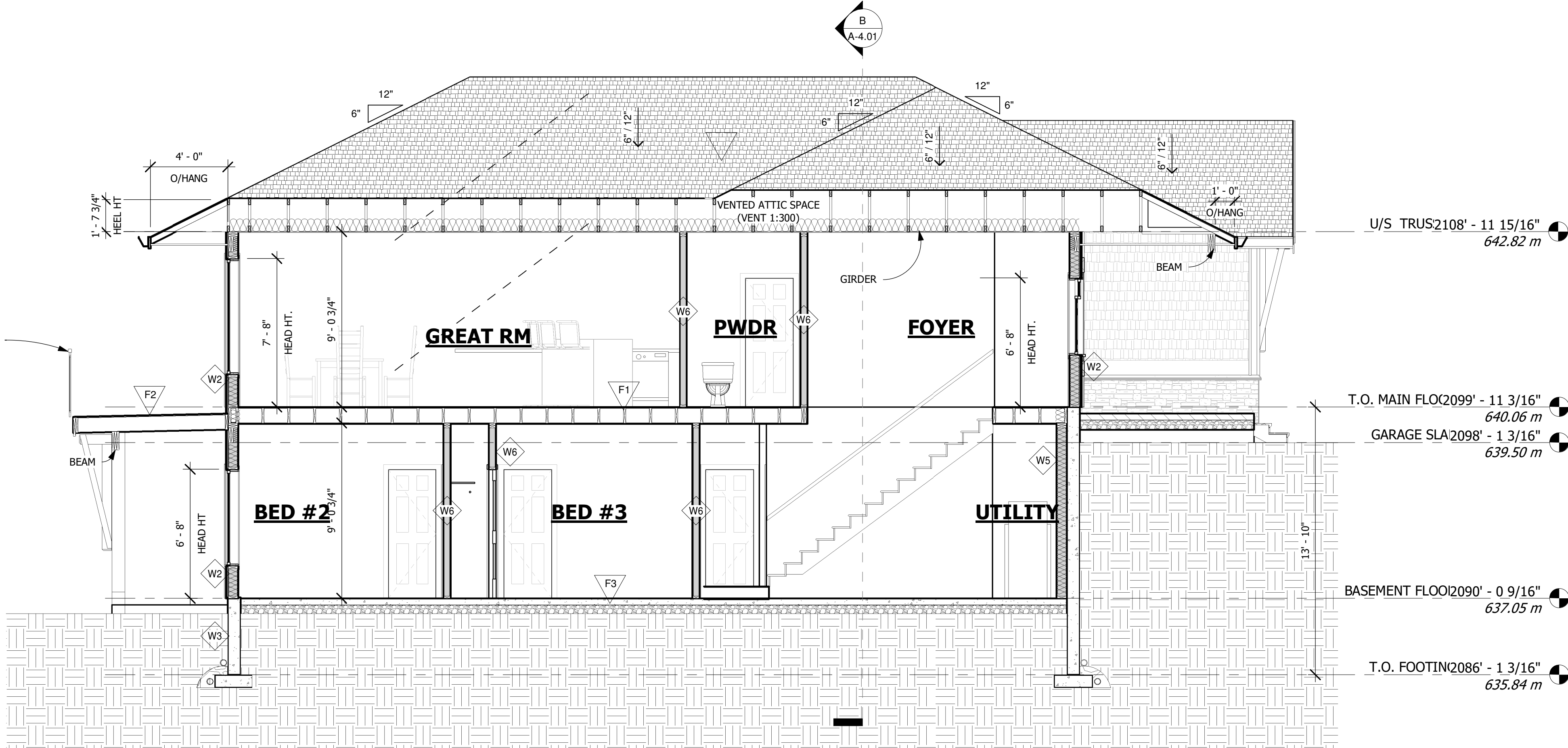
NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL SYMBOL LEGEND	
	CROSS SECTION MARKER
	DIRECTION OF VIEW
	SECTION IDENTIFICATION
	SHEET WHERE DRAWN
	WALL CONSTRUCTION TYPE
	MAIN FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	UPPER FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	ROOF PLAN POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
NOTES: SEE SHEET A-1.02 FOR GENERAL NOTES, ABBREVIATIONS, DOOR & WINDOW SCHEDULES	

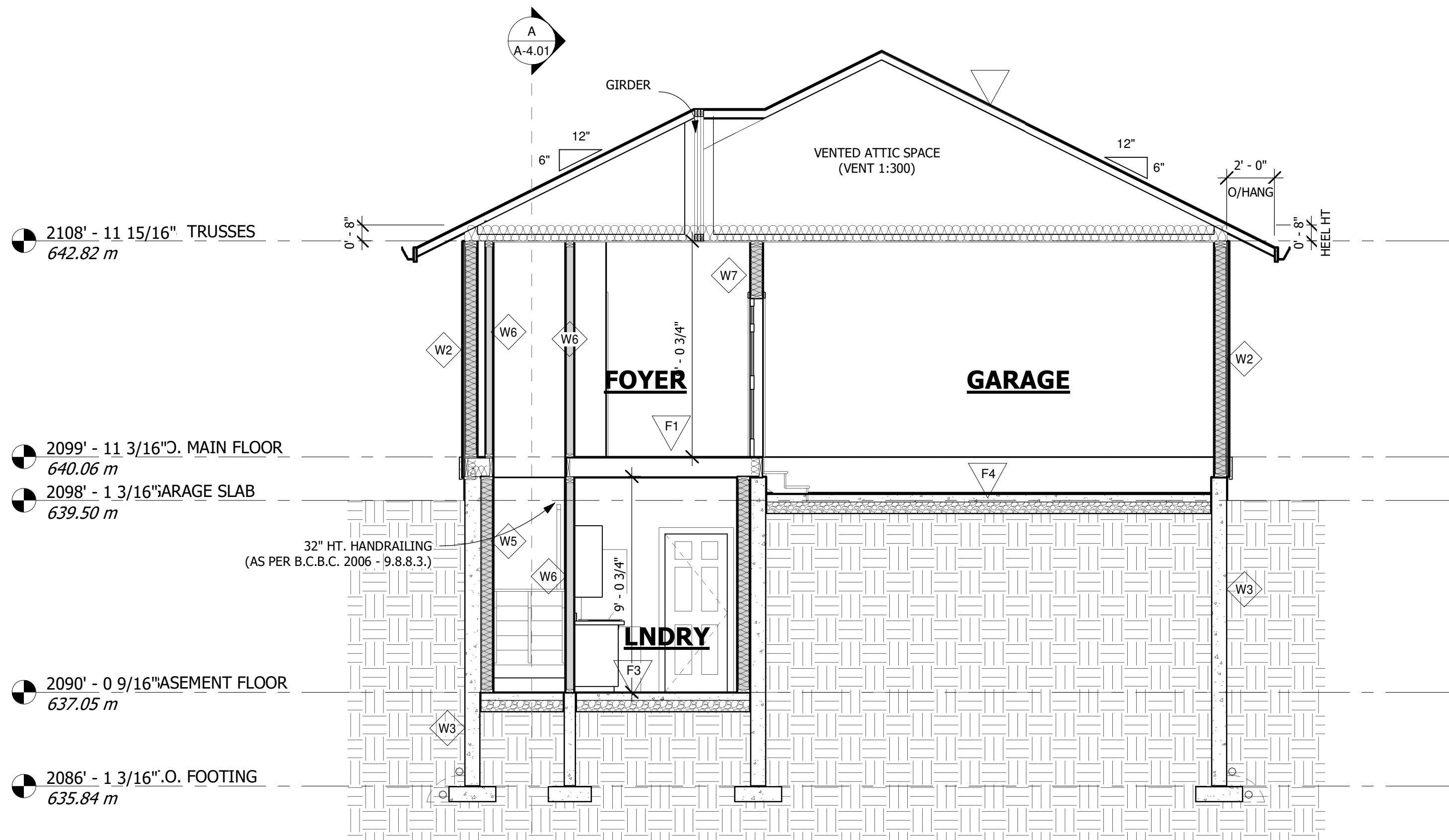
EXTERIOR NOTES

- 1) INSTALL SCREENED COVERS TO ALL VENTS, CHASES ETC. TO PREVENT THE ENTRY OF DEBRIS, INSECTS / ANIMALS OF ANY SORT.
- 2) HOLD ALL FASCIA BOARDS 2" BACK FROM ANY WALL FACE; PROVIDE DIVERTER FLASHINGS INTO GUTTER.
- 3) FINISH GRADE/ ELEVATIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION FROM...
- 4) CONFIRM ALL GRADES ON SITE, ADJUSTING CONC. FOUNDATIONS AS REQUIRED BY STRUCTURAL ENGINEER.

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A-11	ENERGY EFFICIENCY - ABOVE GRADE
A-12	ENERGY EFFICIENCY - BELOW GRADE



SECTION A
1/4" = 1'-0"



SECTION B
1/4" = 1'-0"

GENERAL SYMBOL LEGEND	
	CROSS SECTION MARKER
	DIRECTION OF VIEW
	SECTION IDENTIFICATION
	SHEET WHERE DRAWN
	WALL CONSTRUCTION TYPE
	MAIN FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	UPPER FLOOR POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
	ROOF PLAN POINT LOAD SYMBOL: CONFIRM CONNECTIONS ON SITE
NOTES: SEE SHEET A-1.02 FOR GENERAL NOTES, ABBREVIATIONS, DOOR & WINDOW SCHEDULES	

SECTION NOTES	
1.)	PROVIDE PREFINISHED METAL FLASHING AT ALL HORIZONTAL FINISH CHANGES.
2.)	ALL EXTERIOR FLASHINGS SHALL HAVE INTEGRAL END DAMS.
3.)	FLASHING OVER DOOR AND WINDOWS TO HAVE MIN. 2:1 SLOPE & EXTEND MIN. 3/4" PAST END OF FRAME.
4.)	PROVIDE AT ALL FLOOR LEVELS A PREFINISHED METAL THROUGH WALL FLASHING.
5.)	PROVIDE PREFINISHED METAL FLASHING OVER ALL UNPROTECTED WINDOWS AND DOORS, WHERE OVERHANG IS LESS THAN 4H (SEE BELOW).

SYM	DESCRIPTION
W1	EXTERIOR WALL (2x6, INSUL, STONE) MANUFACTURED STONE VENEER 3/4" STUCCO c/w METAL LATH 3/8"x2" P.T. VERT. PLYWOOD STRAPPING @ 8" o.c. 2 LAYERS 30 MIN. BUILDING PAPER 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS @ 16" o.c. R-22 BATT INSULATION 6 MIL POLY U.V. RATED VAPOUR BARRIER 1/2" GYPSUM WALL BOARD
W2	EXTERIOR WALL (2x6, INSUL) COMPOSITE MATERIAL FINISH -SEE ELEVATIONS FOR PROFILES 3/8"x2" P.T. VERT. PLYWOOD STRAPPING @16" o.c. 1 LAYER HOUSE WRAP 3/8" OSB SHEATHING 2x6 WOOD STUDS @ 16" o.c. R-22 BATT INSULATION 6 MIL POLY U.V. RATED VAPOUR BARRIER 1/2" GYPSUM WALL BOARD
W3	FOUNDATION OR RETAINING WALL (TYPICAL) DRAINAGE COMPOSITE MATERIAL BELOW GRADE 1x4 P.T. WOOD STRAPPING TO ALLOW FOR FINISHES (CONFIRM ON SITE /SEE ELEVATIONS CONCRETE WALL (SEE FOUNDATION PLAN)
W4	EXTERIOR COLUMN BUILT-UP WOOD POST (FINISH AS PER OWNER) COMB FACE TRIMS
W5	FOUNDATION WALL w/ FURRING DRAINAGE COMPOSITE MATERIAL BELOW GRADE CONCRETE WALL (SEE FOUNDATION PLAN) 1" XPS RIGID FOAM BEHIND FRAME WALL C/W, TAPED SEAMS & SEALED TO RIM JOIST 2x6 WOOD STUDS @16" o.c., R-20 BATT INSULATION 1/2" GYPSUM BOARD, PAINTED AIR BARRIER NOTE: CONFIRM BEST INSULATION & VAPOUR BARRIER PRACTICE WITH LOCAL AUTHORITY
W6	INTERIOR WALL 1/2" GYPSUM BOARD EQACH SIDE OF FRAME WALL 2x4 OR 2X6 (AS NOTED) WOOD STUDS @16" o.c. NOTE: ALL COMMON WALLS TO BATHROOMS AND BEDROOMS ADJACENT TO OTHER ROOMS TO BE INSULATED WITH 3-1/2" ACOUSTIC INSULATION
W7	GARAGE WALL 1/2" GYPSUM BOARD, 2x6 WOOD STUDS @ 16" o.c. R-20 BATT INSULATION, 6 MIL. UV RATED POLY V.B. 1/2" GYPSUM BOARD
F1	FLOOR FRAMING FLOOR FINISH ON UNDERLAYMENT 5/8" T&G PLYWOOD (GLUED & SCREWED) 2x FLOOR JOISTS (SEE FLOOR PLANS) 5/8" GYPSUM CEILING BOARD
F2	DECK FLOOR FRAMING 5/4x5 P.T. WOOD DECKING (SCREWED) OR VINYL DECK MEMBRANE (RUN MIN. 8" UP WALLS UNDER BUILDING PAPER & SIDING) 5/8" T&G PLYWOOD (GLUED & SCREWED) 2x P.T. FLOOR JOISTS
F3	INTERIOR CONCRETE SLAB FINISH BY OWNER CONCRETE SLAB (SEE FOUNDATION PLANS) 6 MIL UV POLY VAPOUR BARRIER MIN. 6" COMPACTED GRANULAR FILL
F4	GARAGE CONCRETE SLAB FINISH BY OWNER CONCRETE SLAB (SEE FOUNDATION PLANS) MIN. 6" COMPACTED GRANULAR FILL
S1	INTERIOR STAIR - WOOD 1" PLYWOOD TREADS c/w 1/2" RADIUS NOSING 1/2" PLYWOOD RISER, 3 - 2x12 STRINGERS 1/2" GYPSUM CEILING BOARD
R1	METAL STANDING SEAM 30 lbs UNDERLAYMENT 7/16" OSB SHEATHING c/w H-CLIPS PRE-ENGINEERED WOOD TRUSSES @ 24" o.c. R-40 BLOWN-IN INSULATION 6 MIL. UV RATED POLY VAPOUR BARRIER 5/8" GYPSUM CEILING BOARD
R2	METAL STANDING SEAM 30 lbs UNDERLAYMENT 1/2" PLYWOOD SHEATHING c/w H-CLIPS PRE-ENGINEERED WOOD TRUSSES @ 24" o.c. VENTED VINYL SOFFITTING

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Issues / Revisions 2018-03-26 ISSUED FOR CLIENT REVIEW 2018-04-09 ISSUED FOR CLIENT REVIEW 2018-04-09 ISSUED FOR CLIENT REVIEW 2018-04-19 ISSUED FOR BUILDING PERMIT		THIS DRAWING AND THE IDEAS CONTAINED IN IT ARE THE PROPERTY OF R & K ENTERPRISES AND SHOULD NOT BE DUPLICATED IN ANY WAY WITHOUT THEIR EXPRESS WRITTEN PERMISSION.	
Client NICOLA LAKE ESTATES		Project Description PROPOSED SINGLE FAMILY RESIDENCE SL 6-6528 WATERSIDE TRAIL NICOLA LAKE ESTATES	
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Project Number 18-03-SL-6		Drawn RCW	Scale As indicated
BUILDING SECTIONS A & B		DESIGNED RCW	Date 2021-07-19 1:20:40 PM
Sheet Title A-4.01		Checked RCW	Sheet Number A-4.01